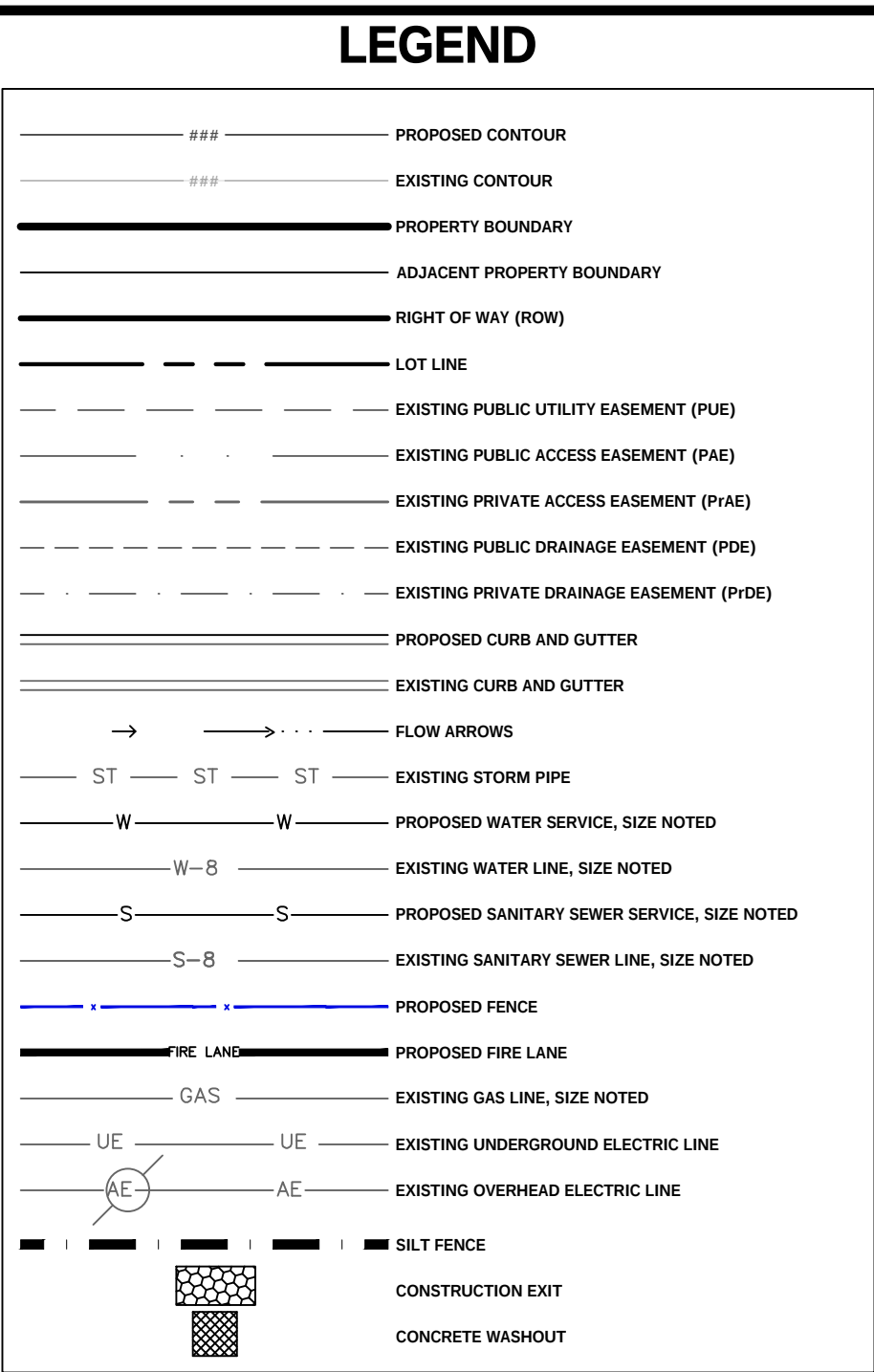
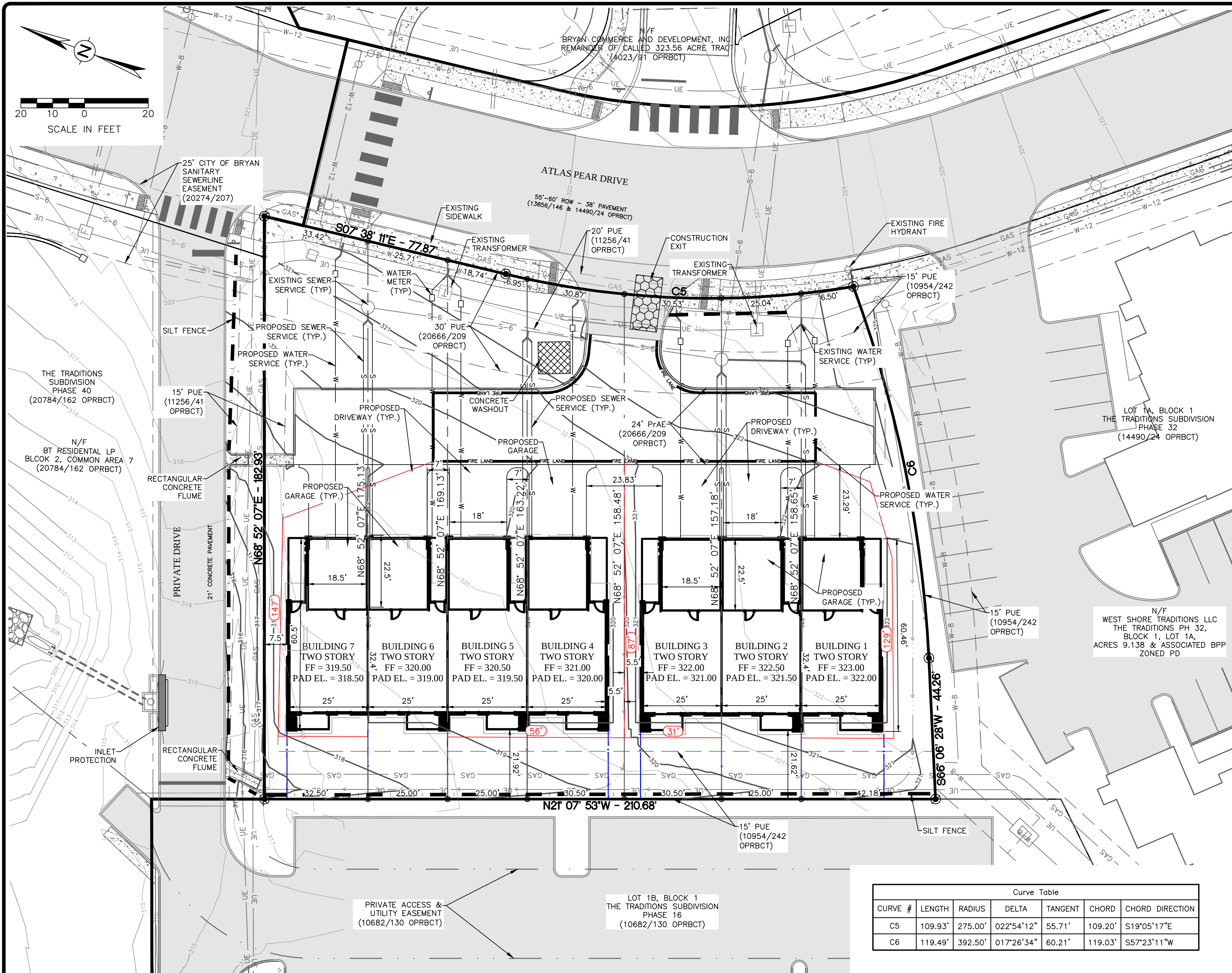
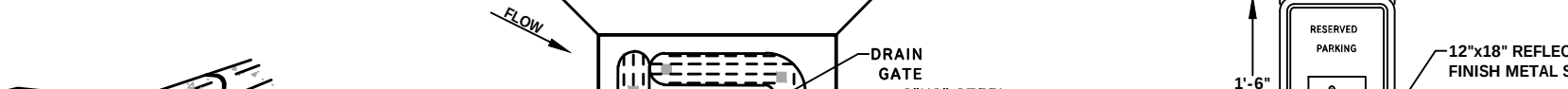
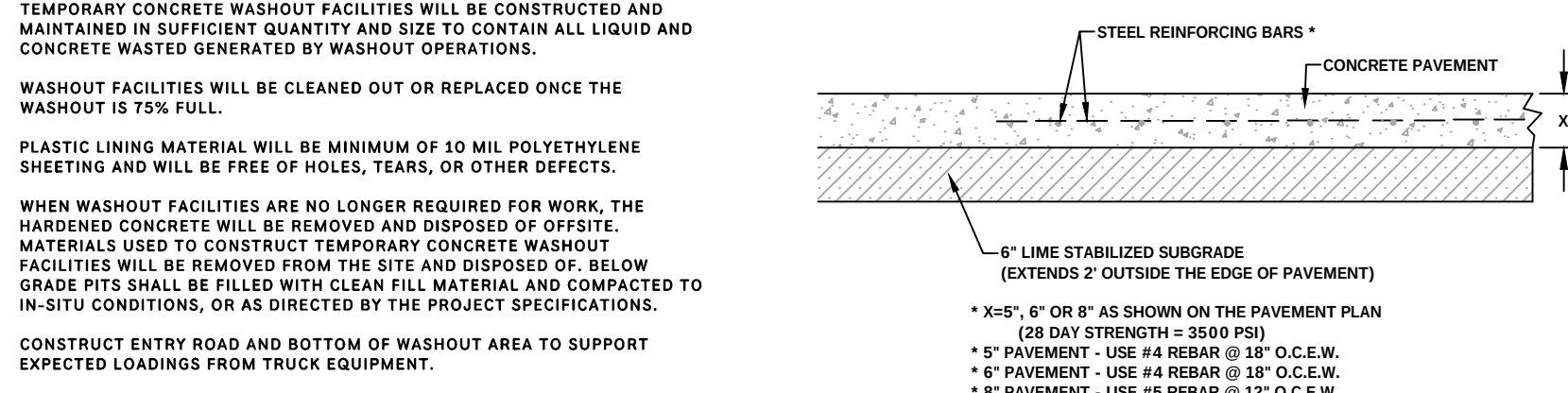
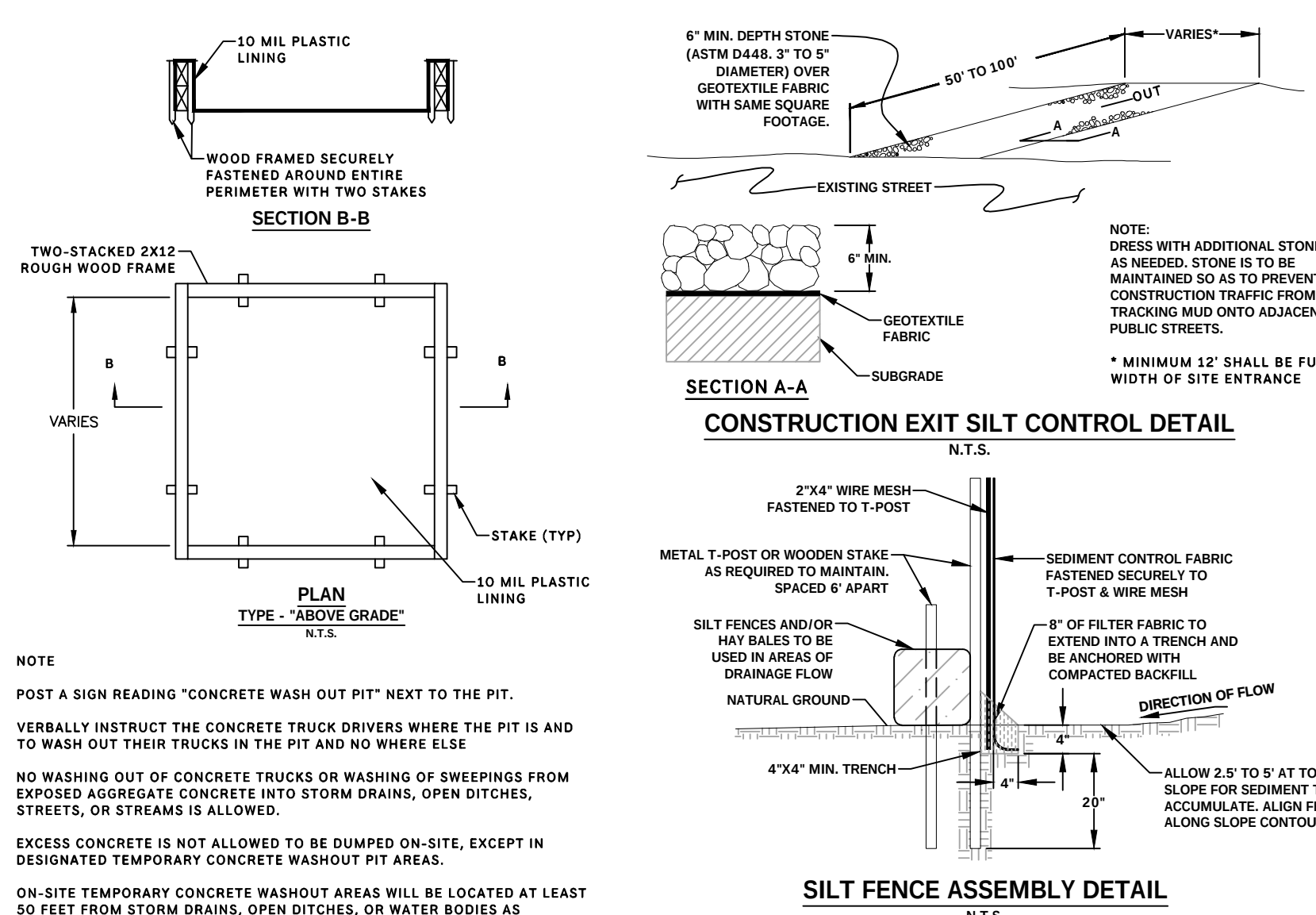




PARKING ANALYSIS	
REQUIRED PARKING	
7 - 3 BED UNITS	
1 SPACE PER BEDROOM	
21 PARKING SPACES REQUIRED	
PROPOSED PARKING	
14 DRIVEWAY SPACES	
14 GARAGE SPACES	
28 TOTAL PARKING SPACES	

- GENERAL NOTES:
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF BRYAN/COLLEGE STATION STANDARD SPECIFICATIONS AND DETAILS FOR WATER, SEWER, STREETS, DRAINAGE). ALL CONSTRUCTION SHALL BE COORDINATED WITH THE CITY ENGINEER'S OFFICE.
 - ALL UTILITY LINES (WATER, GAS, SANITARY SEWER, STORM SEWER, ETC.) SHOWN ARE TAKEN FROM BEST AVAILABLE RECORD INFORMATION BASED ON CONSTRUCTION UTILITY MAP DOCUMENTS OBTAINED FROM CITY & INDEPENDENT AGENCIES AND/OR ABOVE GROUND FIELD EVIDENCE. SHOWN POSITIONS MAY NOT REPRESENT AS-BUILT CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. NOTIFICATION OF THE UTILITY COMPANIES 48 HOURS IN ADVANCE OF CONSTRUCTION IS REQUIRED.
UTILITY COMPANIES: (800) 344-8377
ATMOS ENERGY: (979) 774-2506
SUDEN LINK COMMUNICATIONS: (979) 595-2429
FRONTIER COMMUNICATIONS: (979) 821-4783
WATER/SEWER CITY OF BRYAN: (979) 209-5900
BTU: (979) 821-5700
CITY OF BRYAN: (979) 209-5900
 - THE CONTRACTOR SHALL SETUP A PRE-CONSTRUCTION MEETING WITH BTU PRIOR TO THE START OF ELECTRICAL INFRASTRUCTURE CONSTRUCTION.
 - THE CONSTRUCTION SHALL COMPLY WITH OSHA STANDARD 29 CFR PART 1926 SUBPART P FOR TRENCH SAFETY REQUIREMENTS.
 - BUILDING SETBACK SHALL BE IN ACCORDANCE WITH THE CITY OF BRYAN CODE OF ORDINANCES.
 - PROPOSED SIGNS SHALL BE PERMITTED SEPARATELY IN ACCORDANCE WITH THE SIGN ORDINANCE.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO USE WHATEVER MEANS NECESSARY TO MINIMIZE EROSION AND PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. THIS INCLUDES THE INSTALLATION OF A CONSTRUCTION EXIT AND SILT FENCE AS NECESSARY.
 - THE CONTRACTOR IS REQUIRED TO MAINTAIN THE TPOES GENERAL PERMIT NO. TXR 150000 REQUIREMENTS FOR CONSTRUCTION SITES.
 - ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN DISTURBED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SODDED OR HYDROMULCHED, AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOD WILL BE REQUIRED. BARRED AREAS SHALL BE SEED OR SODDED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.
 - DRAINAGE INFORMATION AND DETAILS WILL BE PROVIDED ON THE DRAINAGE PLAN AND DRAINAGE REPORT.
 - LANDSCAPING AND IRRIGATION DESIGN & ANALYSIS WILL BE PROVIDED ON THE LANDSCAPE & IRRIGATION PLAN. IRRIGATION SYSTEM MUST BE APPROVED AND INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY.
 - ALL RADI AND DISTANCES ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL PAVEMENT SHALL BE PER TYPICAL PAVEMENT SECTION. REFER TO PAVEMENT PLAN FOR PAVEMENT DEPTHS.
 - DETENTION AND DRAINAGE FACILITIES SHALL BE CONSTRUCTED FIRST.
 - THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN THESE PLANS, DRAWINGS AND SPECIFICATIONS.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL STATE AND FEDERAL REGULATIONS REGARDING CONSTRUCTION ACTIVITIES NEAR ENERGIZED OVERHEAD POWER LINES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES OR SERVICE LINES THAT ARE CROSSED OR EXPOSED DURING CONSTRUCTION OPERATIONS. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN, OR DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE THE UTILITIES OR SERVICE LINE WITH THE SAME TYPE OF MATERIAL AND CONSTRUCTION OR BETTER. THIS MATERIAL AND WORK SHALL BE AT THE CONTRACTOR'S OWN EXPENSE.
 - A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE KEPT ON SITE AT ALL TIMES THROUGHOUT THE ENTIRE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN A SET OF REDLINE DRAWINGS, RECORDING AS-BUILT CONDITIONS DURING CONSTRUCTION.
 - ANY ADJACENT PROPERTY AND RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION WILL BE RETURNED TO THEIR EXISTING CONDITION OR BETTER.
 - THE CONTRACTOR SHALL NOT CREATE A DIRT NUISANCE OR SAFETY HAZARD IN ANY STREET OR DRIVEWAY.
 - ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.
 - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
 - THE IRRIGATION SYSTEM WILL BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE, OR A DOUBLE-CHECK BACK FLOW DEVICE, AN INSTALLED AS PER CITY ORDINANCE 2394.
 - ALL BACK FLOW DEVICES WILL BE INSTALLED AND TESTED UPON INSTALLATION.
 - THE CONTRACTOR MAY OBTAIN AN ELECTRONIC COPY OF THESE PLANS FOR CONSTRUCTION PURPOSES. THE ELECTRONIC FILE AND INFORMATION GENERATED BY SCHULTZ ENGINEERING, LLC FOR THIS PROJECT IS CONSIDERED BY ITS USER TO BE CONFIDENTIAL. WHEN ISSUED, ITS USE IS INTENDED SOLELY FOR THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED. PERMISSION IS NOT GRANTED TO THE RECIPIENT FOR THE DISTRIBUTION OF THESE DOCUMENTS IN ANY FORM OR FASHION. THE RECIPIENT UNDERSTANDS THAT THIS DATA IS AUTHORIZED "AS IS" WITHOUT ANY WARRANTY. IF IT IS USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS MODIFIED, THE USER AND RECIPIENT OF THE ELECTRONIC DATA ACCEPTS FULL RESPONSIBILITY AND LIABILITY FOR ANY CONSEQUENCES ARISING OUT OF ITS USE.
 - WHERE ELECTRIC FACILITIES ARE INSTALLED, BTU HAS THE RIGHT TO INSTALL, OPERATE, RELOCATE, CONSTRUCT, RECONSTRUCT, AND MAINTAIN, INSPECT, PATROL, ENLARGE, REPAIR, REMOVE, AND REPLACE, SAID FACILITIES UPON, OVER, UNDER, AND ACROSS THE PROPERTY, INCLUDING IN THE PUE, AND THE RIGHT OF INGRESS AND EGRESS ON PROPERTY ADJACENT TO THE PUE TO ACCESS ELECTRICAL FACILITIES.
 - BEFORE ENCLOSURE CONSTRUCTION/MODIFICATION BEGINS CONTACT SOLID WASTE, AT (979) 209-5900 FOR AN ON-SITE REVIEW.
 - IF ANY CHANGES ARE MADE TO THE ENCLOSURE PLAN DURING THE CONSTRUCTION PHASE, PLEASE CONTACT SOLID WASTE TO REVIEW MODIFICATIONS.
 - ALL-WEATHER ACCESS ROUTE MUST BE MAINTAINED AND REPAIRED AT THE BUSINESS OWNER'S EXPENSE.



IRON TRAIL
TOWNHOUSE SITE PLAN
7930-7954 ATLAS PEAR DRIVE

TOTAL DISTURBED AREA = 0.778 ACRES
TRADITIONS SUBDIVISION PHASE 38
LOTS 1-7, BLOCK 1
TOTAL AREA = 0.766 ACRES
VOL. 20666, PG. 209
JOHN H. JONES LEAGUE SURVEY, A - 26
BRYAN, BRAZOS COUNTY, TEXAS

SCALE: 1"=20'
SEPTEMBER 2026

OWNER/DEVELOPER:
IRON TRAIL TOWNHSES, LLC
13150 COIT ROAD, SUITE 205
DALLAS, TX 75240

SURVEYOR:
KERR SURVEYING, LLC
1718 BRIARCREST DR.
BRYAN, TX 77803
(979) 268-3195

ENGINEER:
SCHULTZ ENGINEERING, LLC
PO BOX 118905
COLLEGE STATION, TX 77842
(979)764-3900

VICINITY MAP

NOT TO SCALE

MARK LOCATION WITH GALVANIZED CORNAGE BOLT 3/8" X 2"

EXTEND END 24" BEYOND CONCRETE AND TAPE BOTH ENDS

2-3" SCH 40 PVC PIPE 18" BELOW TOP OF GRADE TYP.

PVC SLEEVE DETAIL

NOTES:
1. TYPE "O" EXPANSION JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAXIMUM DISTANCE OF 40' APART AND AT ALL RADIUS POINTS, P1/3 AND GUTTER SHALL BE SPACED AT A MAXIMUM DISTANCE OF 10' APART.

COMBINED CURB AND GUTTER SECTION DETAIL

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TRADITIONS SUBDIVISION
PHASE 38
BRYAN, TX

SCALE
VERTICAL N/A
HORIZONTAL 1"=20'
PLOTING SCALE: 1:1
FILE NAME: 26-469

SHEET
C1

SCHULTZ Engineering, LLC

911 Southwest Pkwy E.
College Station, Texas 77840
979-764-3900
TPE FIRM NO. 12327

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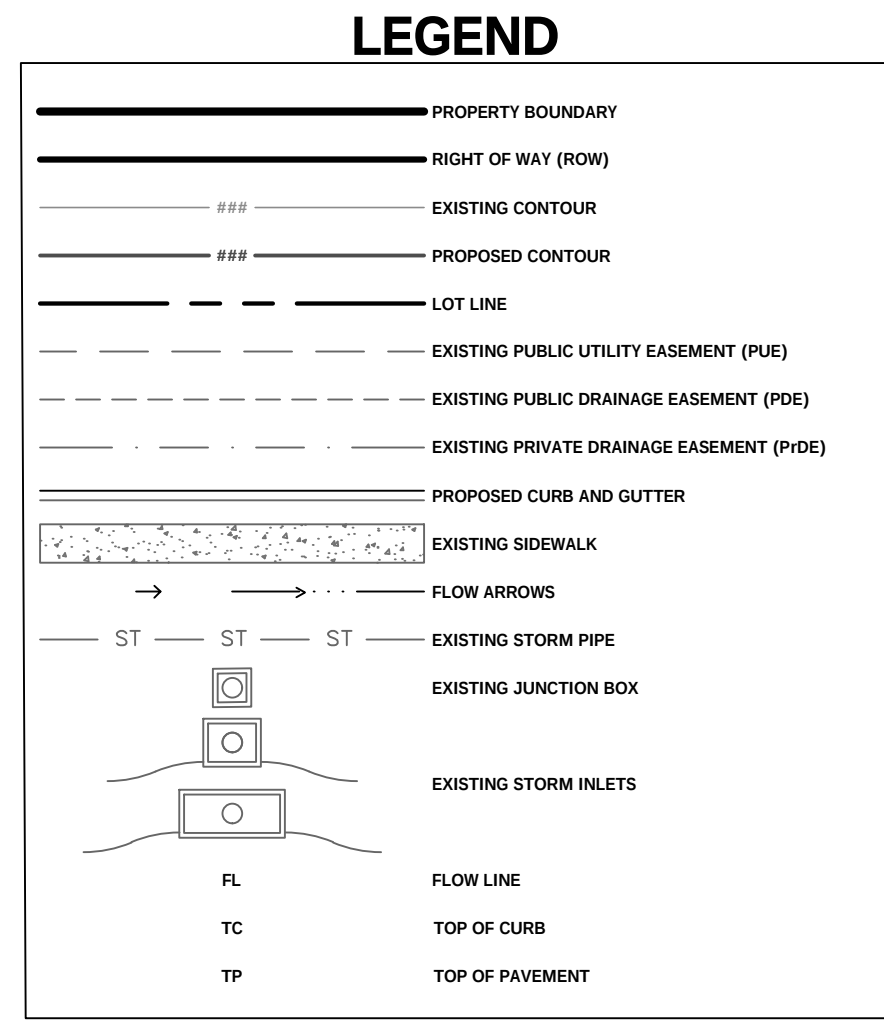
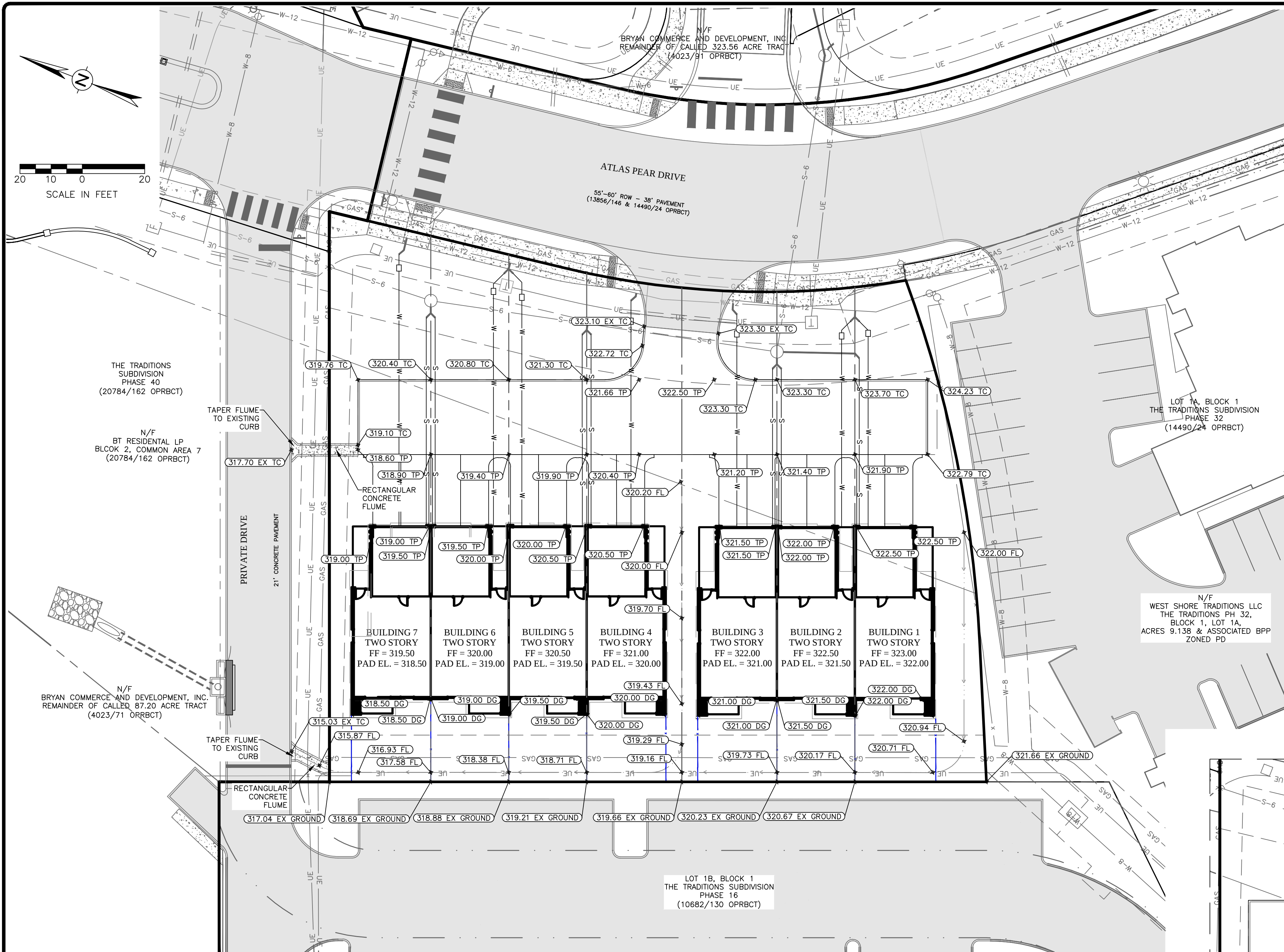
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DEVEN L. DOYEN, P.E., LICENSE NO. 109835 SEPTEMBER 9, 2026

ISSUED FOR REVIEW

SEAL OF DEVEN L. DOYEN, P.E., LICENSE NO. 109835

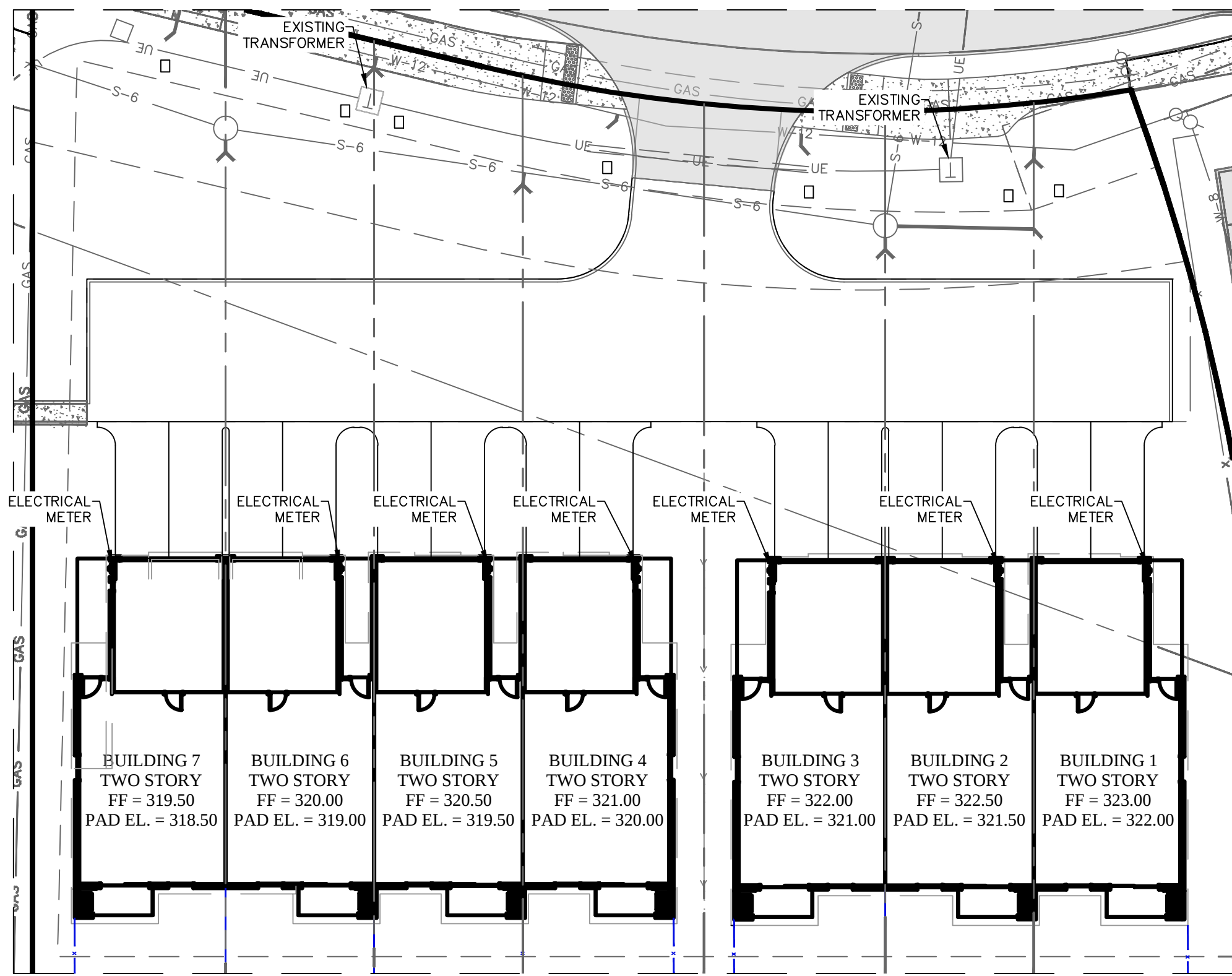
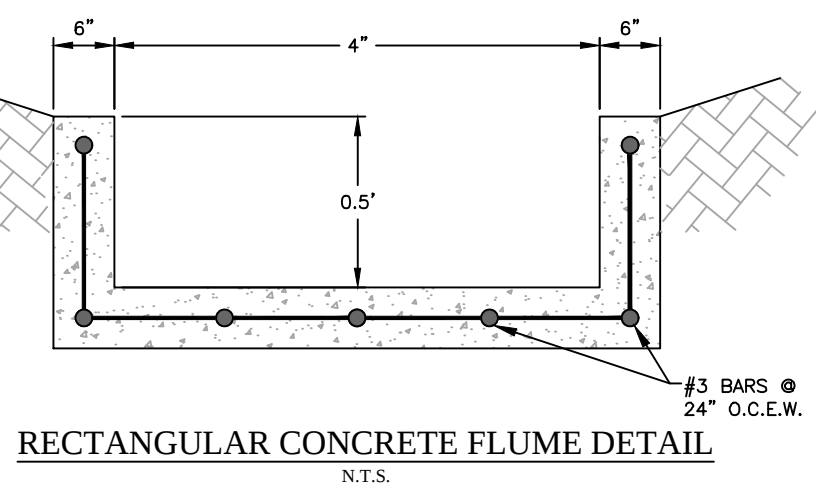
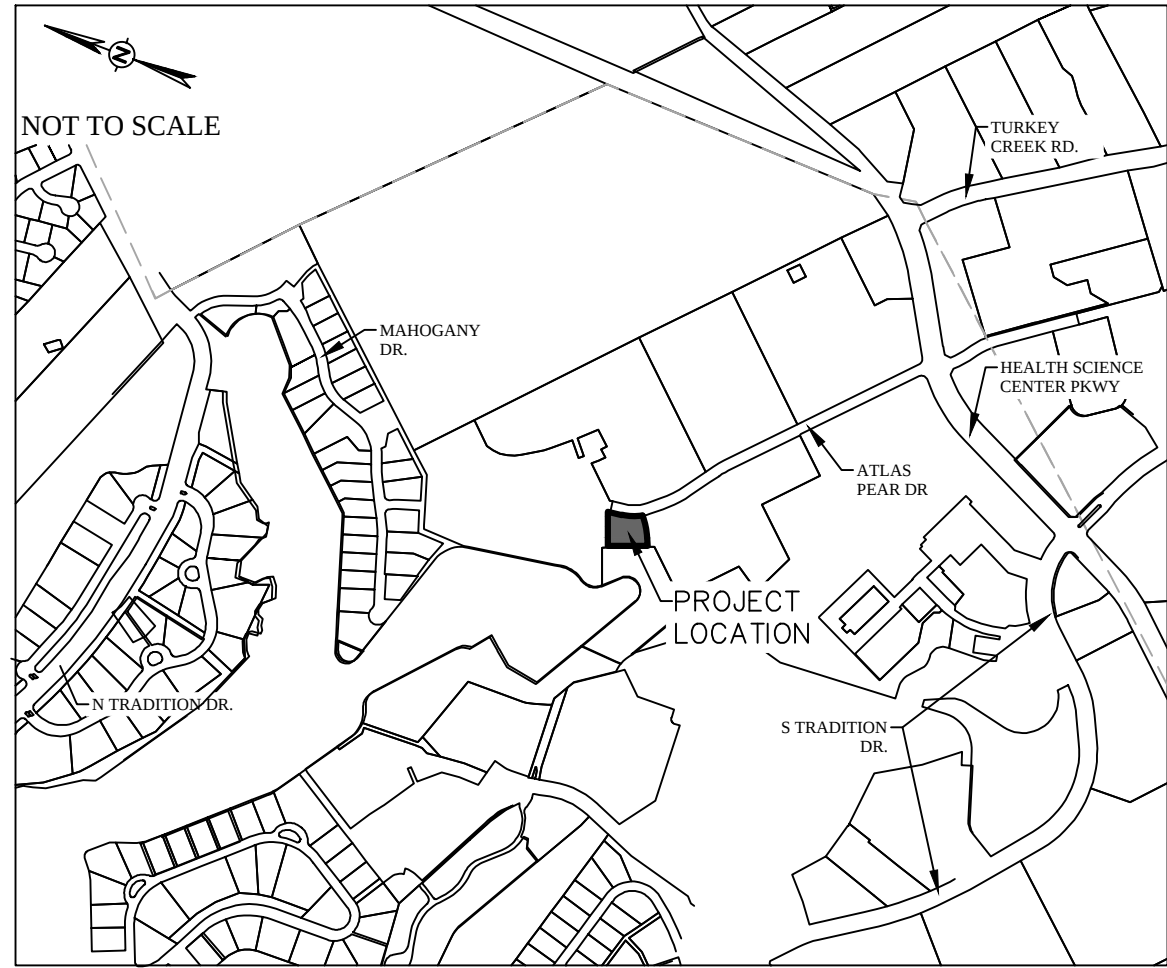
MARK REVISION BY DATE

KERR DLD DLD JPS 26-469 SEPTEMBER 2026



- GRADING CONSTRUCTION NOTES:
1. FILL MATERIAL USED TO ACHIEVE GRADE IN AREAS TO RECEIVE PAVEMENT OR WITHIN THE STREET RIGHT-OF-WAY SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST, (ASTM D698), AT A MOISTURE CONTENT FROM OPTIMUM MOISTURE CONTENT TO 4% ABOVE THE OPTIMUM MOISTURE CONTENT. AREAS OUTSIDE OF THE STREET RIGHT-OF-WAY SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
 2. THE SUBGRADE BENEATH THE CONCRETE SIDEWALKS SHALL BE COMPACTED AND "PROOF-ROLLED". ANY WEAK OR SOFT AREAS IDENTIFIED BY THE "PROOF-ROLLING" SHALL BE REMOVED AND REPLACED.
 3. HANDICAP RAMP SLOPES SHALL NOT EXCEED 1V:12H.
 4. THE TOPOGRAPHY SHOWN IS FROM FIELD SURVEY DATA.
 5. STRUCTURAL BACKFILL FOR UTILITY OR STORM DRAIN TRENCHES IS REQUIRED WHENEVER THE TRENCH IS WITHIN 5' OF PAVEMENT OR SIDEWALK.
 6. THE CONTRACTOR SHALL FOLLOW THE GENERAL INTENT OF THE GRADING PLANS. MINOR ADJUSTMENTS TO THE ACTUAL ELEVATIONS SHOWN ON THE GRADING PLAN MAY BE REQUIRED TO MATCH EXISTING GROUND ELEVATIONS AND STRUCTURES. THE PROPOSED CONTOUR LINES SHOWN ARE APPROXIMATE ONLY. THE DESIGN GRADE SPOT ELEVATIONS SHOULD BE USED FOR CONSTRUCTION OF THE SITE WORK.
 7. COMPACTION OF FILL OR AN ENGINEERED SLAB IS REQUIRED FOR LOTS THAT HAVE GREATER THAN 2 FEET OF FILL.

VICINITY MAP



INSET "A"
ELECTRIC METER LOCATIONS
1" = 20'

TOWNHOUSE SITE PLAN
7930-7954 ATLAS PEAR DRIVE

TOTAL DISTURBED AREA = 0.778 ACRES
TRADITIONS SUBDIVISION PHASE 38
LOTS 1-7, BLOCK 1
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VOL. 20666, PG. 209
JOHN H. JONES LEAGUE SURVEY, A - 26
BRYAN, BRAZOS COUNTY, TEXAS

SCALE: 1"=20'
SEPTMBER 2026

OWNER:
MASTERTOUCH BUILDERS, LLC
3131 CLUB DR.
BRYAN, TX 77807

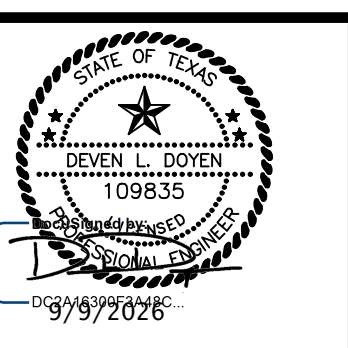
DEVELOPER:
BT RESIDENTIAL, LP
3131 CLUB DR.
BRYAN, TX 77807

SURVEYOR:
KERR SURVEYING, LLC
1718 BRIARCREST DR.
BRYAN, TX 77803
(979) 268-3195

ENGINEER:
SCHULTZ ENGINEERING, LLC.
PO BOX 11895
COLLEGE STATION, TX 77842
(979)764-3900

MARK	REVISION	BY	DATE	KERR	DLD	DLD	JPS	26-469	SEPTEMBER 2026
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SCHULTZ Engineering, LLC	911 Southwest Pkwy E. College Station, Texas 77840 979-764-3900 TBP FIRM NO. 12327	THIS DOCUMENT IS RELEASED FOR PRELIMINARY REVIEW ONLY. IT IS NOT TO BE USED FOR BIDDING OR CONSTRUCTION PURPOSES.	THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DEVEN L. DOYEN, P.E., LICENSE NO. 109835 SEPTEMBER 9, 2026 ISSUED FOR REVIEW
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TRADITIONS SUBDIVISION
PHASE 38
BRYAN, TX

GRADING PLAN

SCALE	
VERTICAL	N/A
HORIZONTAL	1"=20'
PLOTTING SCALE:	1:1
FILE NAME:	26-469

SHEET
C2